

DEVELOPMENT REVIEW BOARD REPORT



MEETING DATE: June 23, 2005

ITEM NO. 6

| | | | |
|------------------------------|--|---------------------------|---|
| CASE NUMBER/ PROJECT NAME | 36-DR-2005 Office Building For Vanguard Appraisal | | |
| LOCATION | 8205 N. Via De Negocio, at the southwest corner of N. Via De Negocio and San Alberto | | |
| REQUEST | Request approval of a site plan and elevations for a new 2700 sq. foot office building. | | |
| OWNER | Vanguard Appraisal Group 480-483-1310 | ENGINEER | N/A |
| ARCHITECT/ DESIGNER | VVG Associates LLC 602-716-5611 | APPLICANT/ COORDINATOR | Barry Goldstein VVG Associates LLC 602-716-5611 |
| BACKGROUND | <p>Zoning.</p> <p>Commercial Office (C-O PCD) District in a Planned Community Development. The Commercial Office District permits business, professional and medical offices use. The site is situated within the larger McCormick Ranch planned community development Phase II area adopted in 1979.</p> <p>Context.</p> <p>The site is located in the Ranch Office Park II area, north of Via de Ventura and west of Pima Road.</p> <p>Adjacent Uses:</p> <ul style="list-style-type: none">• North: San Alberto and office uses with Commercial Office C-O zoning.• South: Office use within the office park area with C-O zoning.• East: Office uses with C-O zoning.• West: Via Negocio with offices and C-O district zoning. | | |
| APPLICANT'S PROPOSAL | <p>Applicant's Request.</p> <p>The request is for Phase I approval of site plan and elevations for a new office building and related site improvement. The second phase will match the first phase and be subject to future DRB approval. As part of the original Ranch Office Park II plat approval, cross access easements were placed along the common property line along the east side of the site, extending between San Alberto to the north and southward to Manzanita Drive. All access to the proposed site is from this internal access drive. Parking is provided along the access way on the east, and along the south side of the site. The Phase II office will be left as a separate pad, with sufficient overall parking and open space provided to accommodate its future construction.</p> | | |

The building design is ultra-modern, low-scale office style with parapet and low pitched, dark bronze standing seam metal butterfly roof. Wall construction is a combination of ground face CMU with tan and beige smooth finish stucco. Substantial window areas are provided throughout. A glass curtain wall with bronze mullions is proposed for the raised entry area. Overhangs protect glass areas at the entry way and beneath the raised roof area. Buildings are set back from street right-of-ways by 13 feet along the west side and 8 feet on the north side.

Landscaping includes a lush desert palette including Palo Verde and Mesquite trees plus, Agave, Yucca, Hesperaloe, Lady Slipper and Cassia in planters and pots. Vines are included to provide interest to walls. No turf is proposed. A proposed water feature in the courtyard between buildings is subject to subsequent Water Resources Dept. and Staff approvals.

Development Information:

- Existing Use: Undeveloped site.
- Proposed Use: Phase I: A two- building office project, with overall site improvements. Phase II: Building to return for future DRB approval.
- Parcel Size: 0.47 acres (20,522 square feet) including Lots 33 and 34.
- Building Floor Area: Phase I building is 2,754 square feet.
- Building Height Allowed/Proposed: 36 feet allowed/ 18 feet proposed.
- Parking Required/Provided: A combined total of 19 parking spaces required/ a combined total of 19 parking spaces proposed for both Phases I and II (to be developed with Phase I).
- Open Space Required/Provided: 3,679 square feet required/ 4,629 square feet proposed.
- FAR: 0.135 for each of Phases I and II (projected), with 0.27 overall
- Number of Units/Density: N/A
- Total Square Footage: Phase I -2,754 square feet, Phase II - 2,54 square feet (projected) with a total of 5,508 Square Feet

DISCUSSION

The two-phase building project conforms to the low-scale office style located in Ranch Office Park II. The site is surrounded by similar office uses. The modern architectural style of the building contains substantial interest and detail, and is appropriate for this area. Twenty (20) property owners have been contacted within 300 feet of the site regarding this proposal. No objections were received.

KEY ISSUES

- The design is a modern architectural style.
- The project is subject to McCormick Ranch POA approval.
- Land assembly is required for the property to combine Lots 33 and 34.
- The applicant has been requested to verify that the dumpster location is acceptable to Solid Waste staff or provide for relocation in conformance with City requirements. If relocation is required minor modification of the parking lot may be required, as provided in Stipulation #10.
- No public comment has been received on this case.

OTHER BOARDS AND COMMISSIONS

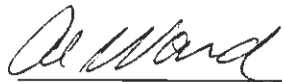
- Case 33-ZN-1973 approved the overall zoning for the area in 1973.
- Case 126-DR-1979 approved the master plan for McCormick Ranch Phase II in 1979.
- Case 121-DR-1984 approved the Ranch Office Park II plat in 1986.
- Case 17-DR-2002 previously approved a development project (Sterling Culturally Diversified Services) on the property, but it was not built.

STAFF RECOMMENDATION

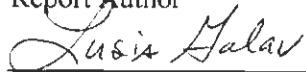
Staff recommends approval, subject to the attached stipulations.

STAFF CONTACT(S)

Al Ward
Senior Planner
Phone: 480-312-7067
E-mail: award@ScottsdaleAZ.gov

APPROVED BY

Al Ward
Report Author



Lusia Galav, AICP
Development Planning Manager
Phone: 480-312-2506
E-mail: lgalav@scottsdaleAZ.gov

ATTACHMENTS

1. Applicant's Narrative
2. Context Aerial
- 2A. Aerial Close-Up
3. Zoning Map
4. Site Plan
5. Landscape Plan
6. Elevations
7. Perspectives
- A. Fire Ordinance Requirements
- B. Stipulations/Zoning Ordinance Requirements



Project Narrative

This document will be uploaded to a Case Fact Sheet on the City's web site.

Date: 3. 9. 05

Project No.: - PA -

Coordinator:

Case No.: 1001 - 1A - 2004

Project Name: VAN BLAARD APPRAVAL GROUP

Project Location: 9205 N VIA DE NEBOLLO

Property Details:

☐ Single-Family Residential ☐ Multi-Family Residential ☒ Commercial ☐ Industrial

Current Zoning: 60. PCD

Proposed Zoning: 60. PCD

Number of Buildings: (2)

Parcel Size: 0.469 ACRES

Gross Floor Area/Total Units: 5500 SF

Floor Area Ratio/Density: 27%

Parking Required: 18

Parking Provided: 18

Setbacks: N - NA S - NA E - NA W - NA

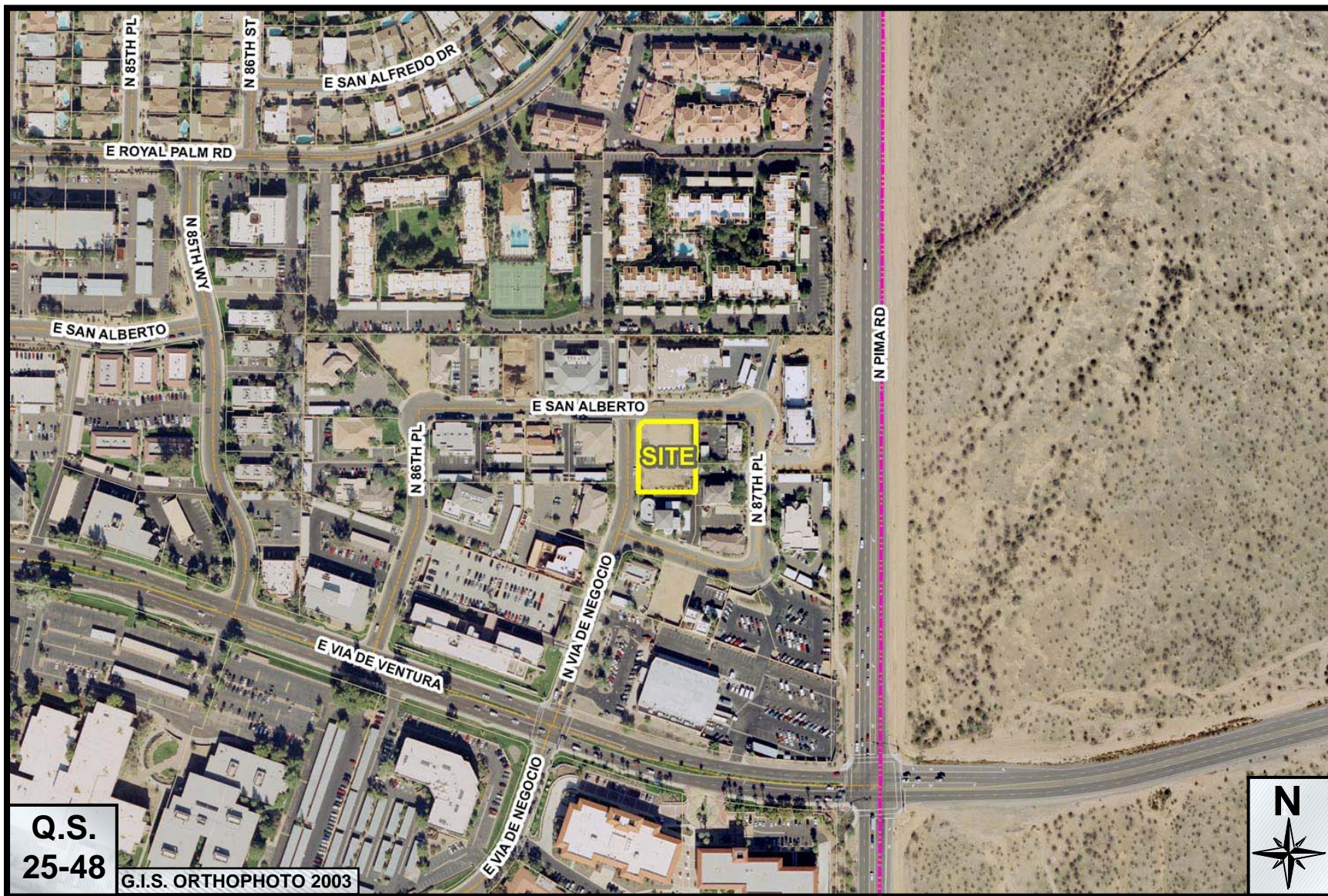
Description of Request:

THE APPROVAL OF THE SITE PLAN, FLOOR PLAN AND ELEVATION
DESIGN FOR A NEW 2700 SF OFFICE BUILDING. FUTURE
BUILD OUT OF SITE WILL INCLUDE TWO (2) OFFICES OF
SIMILAR SIZE.

THE PROJECT WILL USE SIMILAR MATERIALS FOUND IN
SURROUNDING BUILDINGS SUCH AS EXPOSED CMU,
STUCCO AND METAL ROOFING SYSTEMS

Planning and Development Services Department

7447 E Indian School Road, Suite 105, Scottsdale, AZ 85251 • Phone: 480-312-7000 • Fax: 480-312-7088



Q.S.
25-48

G.I.S. ORTHOPHOTO 2003



Office Building For Vanguard Appraisal

36-DR-2005

ATTACHMENT #2



Q.S.
25-48

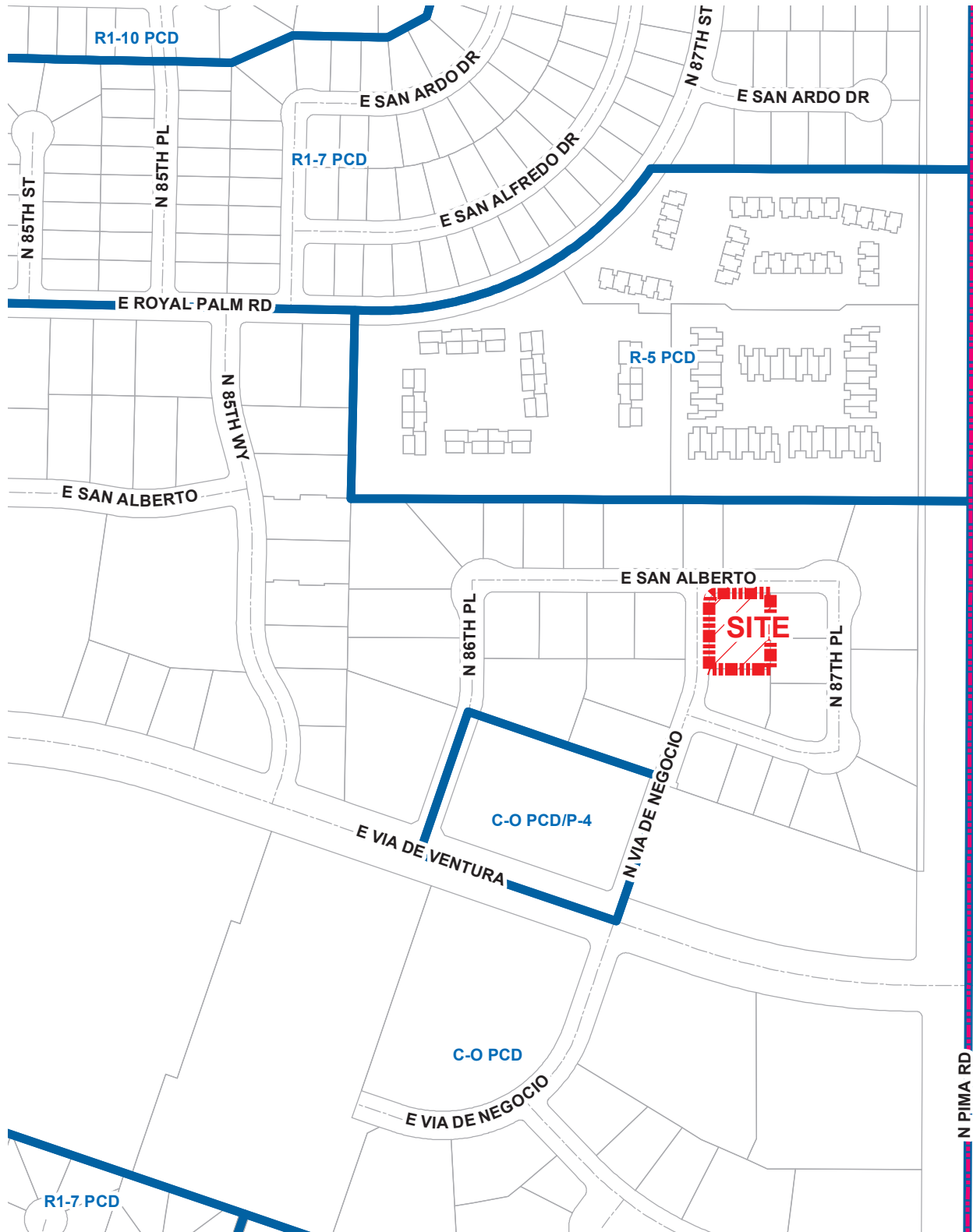
G.I.S. ORTHOPHOTO 2003



Office Building For Vanguard Appraisal

36-DR-2005

ATTACHMENT #2A



36-DR-2005

ATTACHMENT #3



VIA DE NEGOCIO

SAN ALBERTO

BUILDING FOOTPRINT
(PHASE 1)

LOT 34

BUILDING FOOTPRINT
(PHASE 2)
(FUTURE P.A.O.)

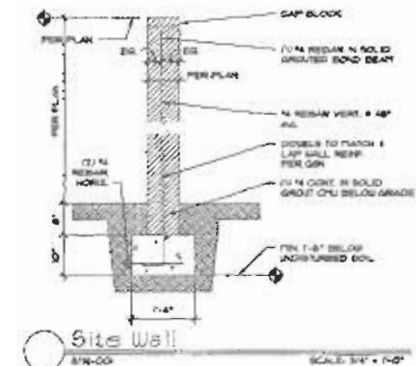
LOT 33

PROJECT DATA

PROJECT DESCRIPTION: CONSTRUCT A TWO (2) NEW OFFICE BUILDING EACH CONSISTING OF 3,000 SQUARE FEET, FOR A TOTAL OF 6,000 SQUARE FEET OF LEASABLE SPACE.
PARCEL NUMBER: APN 14-04-0034
LEGAL DESCRIPTION: LOTS THIRTY-THREE AND THIRTY-FOUR, (33 & 34) SAN ALBERTO OFFICE PARK II AMENDED, ACCORDING TO THE PLAT OF RECORDS IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, IN BOOK 395, OF MAPS, PAGE 4.
OWNER: V-H
CONSTRUCTION TYPE: V-H
SITE DATA: LOT 34 = 0.235 ACRES
 LOT 33 = 0.231 ACRES

PARKING DATA: PER ORDINANCE 1 CAR PER 300 SQUARE FEET
 REQUIRED: 3,000 SQUARE FEET / 300 SQUARE FEET = 10 SPACES
 PROVIDED: 10 SPACES AND (1) VAN ACCESSIBLE SPACE = 10 SPACES
 BICYCLE PARKING REQUIRED: (1) PER (10) VEHICLES
 PROVIDED: (1) SPACES

OWNER: BOOTH RESIDUAL VANGUARD APPRAISAL GROUP
 P.O. BOX 548
 SCOTTSDALE, AZ 85264
 P: 480-455-3300
 F: 480-455-3301
ARCHITECT: DUNN GOLDFEIN, AIA
 700 N. CENTRAL AVENUE, SUITE 100
 SCOTTSDALE, AZ 85264
 P: 480-714-5621
 F: 480-714-5622



VCNTY MAP

PRELIMINARY NOT FOR CONSTRUCTION
Site Plan



CASE#669-PA-2004

REVISIONS

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VV&S
 Architecture + Planning
 219 West Virginia Ave
 Phoenix, AZ 85003
 P: 602.714.5621
 F: 602.714.5622
 vgs@vv&s.com

NEW COMMERCIAL BUILDING FOR:
VANGUARD APPRAISAL
 8205 N. VIA DE NEGOCIO DRIVE SCOTTSDALE, AZ
 Preliminary Site Plan

DATE: March 28, 2022
 SCALE: 1" = 40'-0"
 SHEET: 0411

A1.0

REV: 03/28/2022

SCOTTSDALE, ARIZONA

Reading

TREES

Conclusion

SHRUBS/ACCENTS

10. *Journal of the American Medical Association*, 279:1233-1234, 1997

VINE

•

GRO

Lambert
5109

LOGS

PLANT

SCALE: 3/4" = 1'-0"

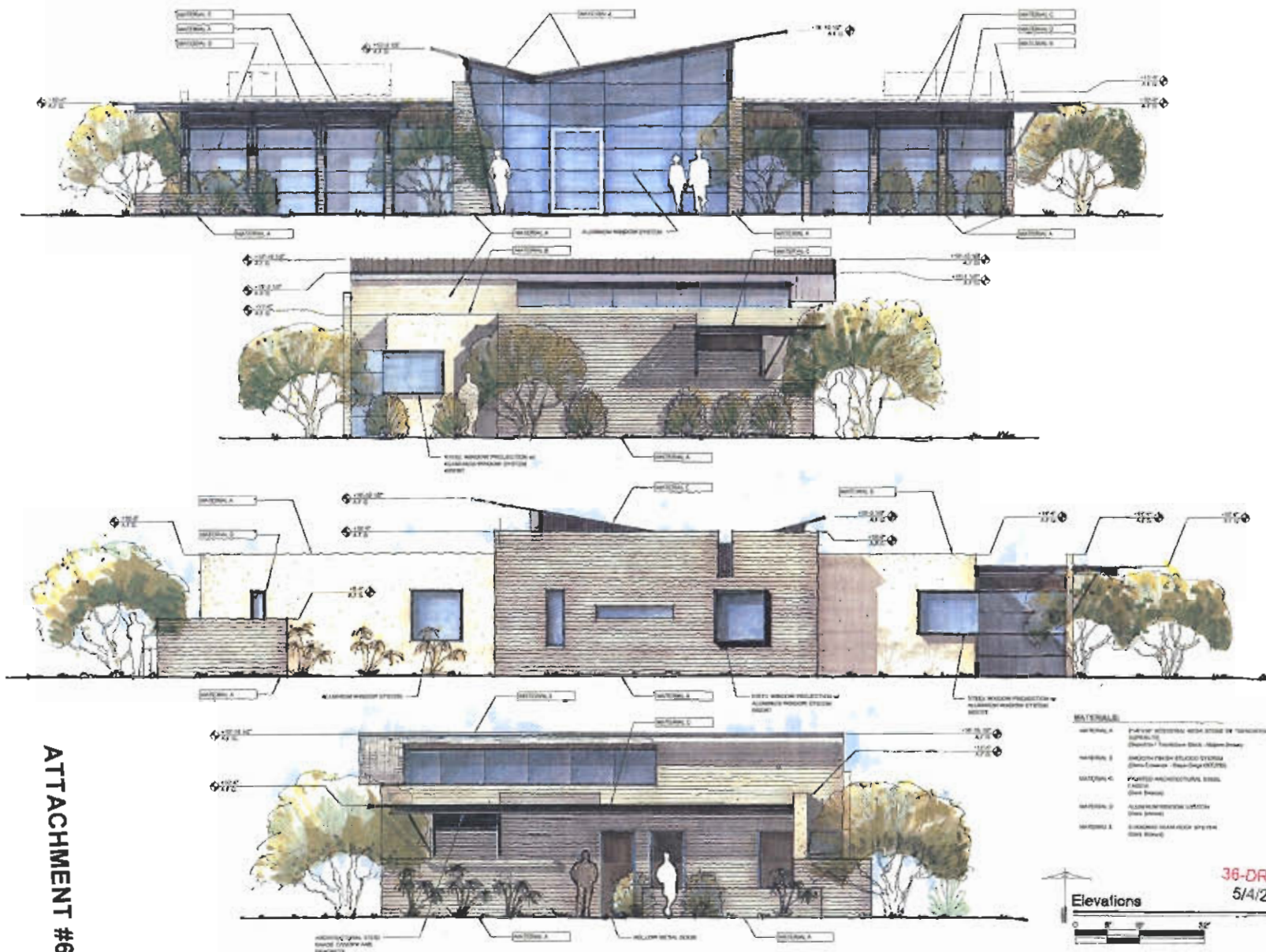


263-110

Sheet Number
LA.02

Sheet 7 of 7

36-122-2005
5/4/05



- MATERIALS**
- MATERIAL A: Painted exterior wall stone or terracotta
 - MATERIAL B: Painted exterior wall stone or terracotta
 - MATERIAL C: Painted exterior wall stone or terracotta
 - MATERIAL D: Painted exterior wall stone or terracotta
 - MATERIAL E: Painted exterior wall stone or terracotta
 - MATERIAL F: Painted exterior wall stone or terracotta
 - MATERIAL G: Painted exterior wall stone or terracotta
 - MATERIAL H: Painted exterior wall stone or terracotta
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 - MATERIAL J: Painted exterior wall stone or terracotta
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 - MATERIAL M: Painted exterior wall stone or terracotta
 - MATERIAL N: Painted exterior wall stone or terracotta
 - MATERIAL O: Painted exterior wall stone or terracotta
 - MATERIAL P: Painted exterior wall stone or terracotta
 - MATERIAL Q: Painted exterior wall stone or terracotta
 - MATERIAL R: Painted exterior wall stone or terracotta
 - MATERIAL S: Painted exterior wall stone or terracotta
 - MATERIAL T: Painted exterior wall stone or terracotta
 - MATERIAL U: Painted exterior wall stone or terracotta
 - MATERIAL V: Painted exterior wall stone or terracotta
 - MATERIAL W: Painted exterior wall stone or terracotta
 - MATERIAL X: Painted exterior wall stone or terracotta
 - MATERIAL Y: Painted exterior wall stone or terracotta
 - MATERIAL Z: Painted exterior wall stone or terracotta

Elevations
36-DR-2005
5/4/2005
Scale 1/4" = 1'-0"
PRELIMINARY NOT FOR CONSTRUCTION

REVISIONS

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VV8
Architecture + Planning
319 West Virginia Ave
Phoenix, AZ 85003
Tel: 602.714.2610
www.vv8architects.com

NEW COMMERCIAL BUILDING FOR:
VANGUARD APPRAISAL
8205 N. VIA DEL MONTE DRIVE SCOTTSDALE, AZ
Preliminary Elevations

36-DR-2005
5/4/2005
A5.0





VANGUARD APPRAISAL
8205 N Via De Negocio Dr.
Scottsdale, AZ

FIRE ORDINANCE REQUIREMENTS

(INCORPORATE INTO BUILDING PLANS AS GENERAL NOTE BLOCK - USE ONLY THE DESIGNATED STIPULATIONS)

- ☒ 1. PREMISES IDENTIFICATION TO BE LEGIBLE FROM STREET OR DRIVE & MUST BE ON ALL PLANS.
- ☒ 2. FIRE LANES & EMERGENCY ACCESS SHALL BE PROVIDED & MARKED IN COMPLIANCE WITH CITY ORDINANCE & IFC AT THE FOLLOWING LOCATIONS.
AS SHOWN
- ☒ 3. IT IS THE DEVELOPERS RESPONSIBILITY TO DETERMINE ULTIMATE COMPLIANCE WITH THE FAIR HOUSING ADMMENDMENTS ACT & AMERICANS WITH DISABILITIES ACT & INCORPORATE SAME INTO THEIR BUILDING PLANS.
- ☐ 4. SUBMIT PLANS & SPECS FOR SUPERVISED AUTOMATIC EXTINGUISHING SYSTEM FOR ALL COOKING APPLIANCES, HOOD PLENUMS & EXHAUST DUCTS.
- ☒ 5. PROVIDE A KNOX ACCESS SYSTEM:
 - ☒ A. KNOX BOX
 - ☐ B. PADLOCK
 - ☐ C. KNOX OVERRIDE & PRE-EMPTION STROBE SWITCH FOR AUTOMATIC GATES.
- ☒ 6. INSTALL AN AS BUILT DRAWING CABINET ADJACENT TO THE FIRE SPRINKLER RISER. IT SHALL BE OF ADEQUATE SIZE TO ACCOMMODATE BOTH THE FIRE SPRINKLER & FIRE ALARM DRAWINGS. THE CABINET SHALL BE PROVIDED WITH A LOCK & KEYED TO MATCH THE FIRE ALARM CONTROL PANEL & SUPERVISED BY THE FACP IF APPLICABLE.
- ☐ 7. SUBMIT PLANS FOR A CLASS _____ FIRE ALARM SYSTEM PER SCOTTSDALE REVISED CODES.
- ☒ 8. PROVIDE INTERIOR TENANT NOTIFICATION WHEN OFF-SITE MONITORING IS REQUIRED.
 (SEE FIRE ALARM INTERPRETATIONS FOR CLARIFICATION)
- ☐ 9. ADD 2-1/2" WET FIRE HOSE VALVES (NSHT) IF FLOOR AREA EXCEEDS 10,000 SQ. FT. PER FLOOR LEVEL AND/OR IF FIRE DEPT. ACCESS IS LIMITED TO LESS THAN 360°. _____
- ☒ 10. BUILDINGS MAY BE SUBJECT TO INSTALLATION AND TESTING REQUIREMENTS FOR A PUBLIC SAFETY RADIO AMPLIFICATION SYSTEM.
- ☒ 11. BACKFLOW PREVENTION WILL BE REQUIRED ON VERTICAL RISER FOR CLASS 1 & 2 FIRE SPRINKLER SYSTEMS PER SCOTTSDALE REVISED CODE.
- ☒ 12. PROVIDE ALL WEATHER ACCESS ROAD (MIN. 16') TO ALL BUILDINGS & HYDRANTS FROM PUBLIC WAY DURING CONSTRUCTION.
- ☒ 13. SEE APPROVED CIVILS FOR THE NUMBER OF FIRE HYDRANTS REQUIRED. DEVELOPER SHALL HAVE THE REQUIRED HYDRANTS INSTALLED & OPERABLE PRIOR TO THE FOOTING INSPECTION. HYDRANTS SHALL BE SPACED AT A MAXIMUM OF _____ AT _____ GPM. THE DEVELOPER SHALL MAKE THE C.O.S. APPROVED CIVIL WATER PLANS AVAILABLE TO THE FIRE SPRINKLER CONTRACTOR.
- ☒ 14. PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED. SEE SHEET(S) _____
- ☒ 15. EXIT & EMERGENCY LIGHTING SHALL COMPLY WITH THE C.O.S. ORDINANCE & THE IFC. SEE SHEETS _____
- ☒ 16. SUBMIT MSDS SHEETS & AGGREGATE QUANTITY FOR ALL HAZARDOUS MATERIALS INCLUDING FLAMMABLES, PESTICIDES, HERBICIDES, CORROSIVES, OXIDIZERS, ETC. A PERMIT IS REQUIRED FOR ANY AMOUNT OF HAZARDOUS MATERIALS STORED, DISPENSED, USED OR HANDLED. COMPLETE AN HMMP & SUBMIT WITH THE BUILDING PLANS.
- ☒ 17. FIRELINE, SPRINKLER & STANDPIPE SYSTEM SHALL BE FLUSHED & PRESSURE TESTED PER NFPA STANDARDS & SCOTTSDALE REVISED CODES.
- ☒ 18. FDC SIAMESE CONNECTIONS FOR SPRINKLERS AND/OR STANDPIPES WILL BE LOCATED PER ORDINANCE AND/OR AT AN APPROVED LOCATION. MINIMUM SIZE 2-1/2 x 2-1/2 x 4 (NSHT)
 - ☐ 4' TO 8' BACK OF CURB; INDEP. WET LINE.
 - ☐ WALL MOUNTED - 15' CLEAR OF OPENINGS.
- ☒ 19. ADEQUATE CLEARANCE SHALL BE PROVIDED AROUND FIRE RISER. DIMENSIONS FROM FACE OF PIPE SHALL MEASURE A MINIMUM OF 12" OFF THE BACK OF WALL, 18" ON EACH SIDE & 36" CLEAR IN FRONT WITH A FULL HEIGHT DOOR. THE FIRE LINE SHALL EXTEND A MAXIMUM OF 3' INTO THE BUILDING FROM INSIDE FACE OF WALL TO CENTER OF PIPE.

20. ☒ SPRINKLER SYSTEM SHALL BE INSTALLED TO COMPLY WITH MINIMUM NFPA CRITERIA 2002 EDITION & SCOTTSDALE REVISED CODES. SYSTEMS WITH 100 HEADS OR MORE SHALL HAVE OFF-SITE MONITORING. AFTER BUILDING PLAN REVIEW, INSTALLING CONTRACTOR SHALL SUBMIT (3) THREE COMPLETE SETS OF DRAWINGS & HYDRAULIC CALCULATIONS REVIEWED BY A MINIMUM NICET III DESIGN TECHNICIAN.
- ☐ A. MODIFIED NFPA 13-D SYSTEM WITH RESIDENTIAL QUICK RESPONSE SPRINKLER HEADS (2002 EDITION)
- ☐ B. MODIFIED NFPA 13R SYSTEM (2002 EDITION) WITH RESIDENTIAL QUICK RESPONSE SPRINKLER HEADS IN DWELLING UNITS & ATTIC AREAS FED FROM SEPARATE FIRELINE PER C.O.S. ORDINANCE & INTERPRETATIONS & APPLICATIONS. CALCULATE UP TO FOUR REMOTE HEADS & 900 SQ FT MIN. IN ATTIC.
- ☒ C. NFPA 13 2002 EDITION COMMERCIAL SYSTEM / DESIGN CRITERIA: Lt Haz SEISMIC DESIGN CATEGORY SHALL BE DETERMINED BY STRUCTURAL ENGINEER.
- ☐ D. THE FIRE SPRINKLER SYSTEM DESIGN FOR WAREHOUSE / STORAGE OCCUPANCIES SHALL BE BASED ON THE FULL HEIGHT CAPACITY OF THE BUILDING PER SCOTTSDALE REVISED CODE. DENSITY CRITERIA:
- ☐ E. SPRINKLER DESIGN CRITERIA FOR UNSPECIFIED WAREHOUSE COMMODITIES: .45 OVER 3000 SQ. FT.
- ☐ F. THE PROJECT SPECIFICATIONS SHALL BE SUBMITTED WITH CONTRACT DRAWINGS.
- ☐ G.

Submit three (3) complete sets of drawings submitted by installing contractor, after building plan review is complete. Please refer questions to Fire Dept. Plan Review, 312-7070, 312-7684, 312-7127, 312-2372.

Stipulations for Case: Office Building For Vanguard Appraisal Case 36-DR-2005

Unless otherwise stated, the applicant agrees to complete all requirements prior to final plan approval, to the satisfaction of Project Coordinator and the Final Plans staff.

PLANNING

APPLICABLE DOCUMENTS AND PLANS:

DRB Stipulations

1. Except as required by the City Code of Ordinances, Zoning Regulations, Subdivision Regulations, and the other stipulations herein, the site design and construction shall substantially conform to the following documents:
 - a. Architectural elements, including dimensions, materials, form, color, and texture, shall be constructed to be consistent with the building elevations submitted by VVG Architecture and Planning with a city receipt date of 5/4/05.
 - b. The location and configuration of all site improvements shall be constructed to be consistent with the site plan submitted by VVG Architecture and Planning with a city receipt date of 5/26/05.
 - c. Landscaping, including quantity, size, and location of materials shall be installed to be consistent with the conceptual landscape plan submitted by Hadley Design Group with a city receipt date of 5/4/05.

ARCHITECTURAL DESIGN:

DRB Stipulations

2. The face of the service entrance section(s) shall be flush with the building façade and painted to match the building.
3. All exterior mechanical, utility, and communications equipment shall be screened by parapet or wall that matches the architectural color and finish of the building. Wall or parapet height for roof-mounted units shall meet or exceed the height of the tallest unit. Wall height for ground-mounted units shall be a minimum of 1 foot higher than the tallest unit.
4. All exterior conduit and raceways shall be painted to match the building.
5. No exterior roof ladders shall be allowed where they are visible to the public or from an off-site location.
6. Roof drainage systems shall be interior, except that overflow scuppers are permitted. If overflow scuppers are provided, they shall be integrated with the architectural design.
7. Wall enclosures for refuse bins or trash compactors shall be constructed of materials that are compatible with the building(s) on the site in terms of color and texture.
8. Dooley wall fencing shall not be allowed.
9. All walls shall match the architectural color, materials and finish of the building(s).

SITE DESIGN:

DRB Stipulations

10. If City staff requires relocation of the refuse container, the applicant shall make modifications to the parking lot to accommodate relocation of the refuse container, which shall be subject to staff approval.

ATTACHMENT B

11. Phase 1 improvements shall include all walls, parking, refuse and hardscape completed prior to certificate of occupancy.
12. Phase 2 building and related improvements, shall be subject to a subsequent DRB approval.
13. Prior to final plans submittal the water features shall obtain approval from the City of Scottsdale's Water Resources Department.
14. With Final Plans submittal, submit an application for land assembly is required for the property to combine Lots 33 and 34.

Ordinance

- A. If City staff requires relocation of the refuse container pursuant to Stipulation #10 above, with final plans submittal the site plan shall be revised to show all required/allowed and provided development standards and the methodology on how they were calculated. Note, if relocation of the dumpster results in reduction in the number of parking spaces, the size of the Phase II building may have to be reduced to meet revised parking spaces provided.

OPEN SPACE:**Ordinance**

- B. With the relocation of the refuse container the site shall meet all required open space requirements of the zoning ordinance.

LANDSCAPE DESIGN:**DRB Stipulations**

15. Landscape plan shall be revised prior to final plans to indicate all plants that are not listed on the Phoenix AMA plant list and are included in the Landscape data sheet L.O by location on site.
16. Refuse enclosure shall be clear of any proposed mature tree canopies.
17. Upon removal of the salvageable native plants the salvage contractor shall submit completed Native Plant Tracking Form as well as a list identifying the tag numbers of the plants surviving salvage operations to the City's Inspection Services Unit within 3 months from the beginning of salvage operations and/or prior to the issuance of the Certificate of Occupancy.
18. Cut and fill slopes shall be rounded to blend with the existing contours of the adjacent natural grades.

Ordinance

- C. Prior to final plans submittal the Landscape plan shall be revised to include caliper sizes.
- D. 50% of the trees provided shall be mature trees with a minimum caliper size of 2 (two) inches for a single trunk and/or 1 (one) inch average for multi-trunk trees or equivalent.
- E. With the relocation of the refuse container the site shall meet all required parking lot landscape requirements of the zoning ordinance.

EXTERIOR LIGHTING DESIGN:**DRB Stipulations**

19. Prior to final plans submittal the developer shall revise the photometric plan to show statistics for the entire site and not by canopy area.
20. All exterior luminaires shall meet all IESNA requirements for full cutoff, and shall be aimed downward and away from property line except for sign and parking lot lighting.
21. The individual luminaire lamp shall not exceed 250 watts.
22. The maximum height from finished graded to the bottom of the any exterior luminiare shall not exceed 20 feet.
23. All exterior light poles, pole fixtures, and yokes, shall be a flat black or dark bronze.

24. Incorporate into the project's design, the following:

Parking Lot and Site Lighting:

- a. The maintained average horizontal illuminance level, at grade on the site shall not exceed 2.0 foot-candles.
- b. The maintained maximum horizontal illuminance level, at grade on the site, shall not exceed 8.0 foot-candles. All exterior luminaires shall be included in this calculation.
- c. The initial vertical illuminance at 6.0 foot above grade, along the entire property line (or 1 foot outside of any block wall exceeding 5 foot in height) shall not exceed 0.8 foot-candles. All exterior luminaires shall be included in this calculation.

Building Mounted Lighting:

- d. All luminaires shall be recessed or shielded so the light source is not directly visible from property line.

VEHICULAR AND BICYCLE PARKING:

DRB Stipulations

25. Bike rack design shall be in conformance with City of Scottsdale M.A.G. Details unless otherwise approved in writing by the City of Scottsdale's Transportation Department.

ADDITIONAL PLANNING ITEMS:

DRB Stipulations

26. No exterior vending or display shall be allowed.
27. Flagpoles, if provided, shall be one piece, conical, and tapered.
28. Patio umbrellas shall be solid colors and shall not have any advertising in the form of signage or logos.

RELEVANT CASES:

Ordinance

- F. At the time of review, the applicable zoning, DRB, Use Permit, and etc. case(s) for the subject site were:
33-ZN-1973, 126-dr-1979, 121-DR-1984

ENGINEERING

The following stipulations are provided to aid the developer in submittal requirements, and are not intended to be all inclusive of project requirements. The developer shall submit engineering design reports and plans that demonstrate compliance with city ordinances, the Scottsdale Revised Code and the Design Standards and Policies Manual.

APPLICABLE DOCUMENTS AND PLANS:

29. Conceptual Grading and Drainage Plan, dated 5/2/05, prepared by PK Kland Consulting, dated 5/4/05 by City Staff.
30. Preliminary Site Plan, dated 3/28/05, prepared by VVG Architecture & Planning, dated 5/26/05 by City Staff.
31. Preliminary Drainage Report, dated 5/2/05, prepared by PK Kland Consulting, dated 5/26/05 by City Staff.

DRAINAGE AND FLOOD CONTROL:

DRB Stipulations

32. A final drainage report shall be submitted that demonstrates consistency with the conceptual drainage report approved in concept by the Planning and Development Services Department.
 - a. Before the approval of improvement plans by city staff, the developer shall submit two (2) hard copies and one (1) compact disc copy of the complete final drainage report and plan.
33. The final drainage report shall discuss phasing of the project.
34. Basin Configuration:
 - a. Basin side slopes shall not be steeper than 4:1, and basin depths shall not exceed 3 feet.
 - b. A maximum of 50% of the front open space may be used as a retention/detention basin unless approved by the Project Coordination Manager.
35. Stormwater Storage on Paved Surfaces. Up to 50% of required stormwater storage may be provided in parking areas when the following conditions are met:
 - a. Storage system shall be designed to store first 30% of required runoff volume off paved areas (to avoid ponding of nuisance water on pavement).
 - b. Parking lot storage areas shall be designed so as to minimize interference with pedestrian traffic. Depth of water shall not exceed six inches within the parking area.

Ordinance

- G. The developer may submit a request for Stormwater Storage Waiver. However, if the developer chooses to provide on-site stormwater storage, the following stipulations shall applied.
 - (1) Basin bleed-off rates shall be set so that the storage basins do not drain completely in less than 24 hours. Storage basins must drain completely within 36 hours.
 - (2) Infiltration of stormwater through the basin floor is not acceptable as the sole means of draining the basin. Stormwater storage basins should be designed to meter flow to the historic out-fall point. Where an historic out-fall point does not exist (or metering is not possible), other methods of discharge such as pumps, etc. may be considered.
 - (3) Stormwater storage basins may not be constructed within utility easements or dedicated right-of-way (exceptions may be granted with written approval from appropriate utility company).
 - (4) Off-site runoff must enter and exit the site as it did historically.
 - (5) All development shall be designed to satisfactorily convey the 100-year peak discharge through the site without significant damage to structures.

- H. With the final improvement plans submittal to the Plan Review and Permit Services Division, the developer shall submit a final drainage report and plan, subject to City staff approval.
- I. Underground Stormwater Storage:
- (1) Underground stormwater storage is prohibited unless approval is obtained from the City's Floodplain Administrator.
 - (2) Drywells are not permitted.
- J. Street Crossings:
- (1) Watercourse crossings for roads shall be designed to provide for 100-year access to all lots by at least one route. Accessibility will be considered to exist if it can be shown by the engineer that at the time of the peak flow, the depth of flow over the road will not be greater than 1 foot.

ROADWAY, INTERSECTION, AND ACCESS DESIGN:

Streets and other related improvements:

| STREET NAME | STREET TYPE | R.O.W. DEDICATION | ROADWAY IMPROVEMENT | CURB TYPE | BIKE PATH, SIDEWALK, TRAILS |
|--------------------|--------------------|----------------------------|----------------------------|------------------|------------------------------------|
| Via De Negocio | Residential | 25' Half Street (existing) | Existing | Existing | Existing |
| San Alberto | Residential | 25' Half Street (existing) | Existing | Existing | existing |
| | | | | | |

DRB Stipulations

36. An existing shared driveway on San Alberto Street provides access to the site. Prior to final plan approval, the developer shall provide a recorded copy of cross access easement between this property and adjacent property owner over the shared driveway.
37. Provide a minimum 25' throat length at the site driveway. There should be no parking spaces allowed in this area.

Ordinance

- K. Public street lights shall be installed in accordance with City of Scottsdale Revised Code, Section 48-149. The developer shall be responsible for coordinating a street layout and cost estimate with the utility company. Building permits may not be issued until all street light arrangements (including fee requirements) have been made.

INTERNAL CIRCULATION:

DRB Stipulations

38. The developer shall provide a pave cross access driveway along east side of site; minimum 24 feet width.
39. The developer shall provide a minimum parking-aisle width of 24 feet.
40. The developer shall provide internal circulation that accommodates emergency and service vehicles with an outside turning radius of 45 feet and inside turning radius of 25 feet.
41. The developer shall design the dead-end parking aisle in general conformance with the included detail.
42. Bicycle parking shall be shown on the plans. Contact Reed Kempton for more detail regarding bike parking design and location (312-7630).

Ordinance

- L. Parking areas shall be improved with a minimum of 2.5 inches of asphalt over 4 inches of aggregate base.

DRB Stipulations

43. Developer may submit an request to abandon the existing 5' roadway easement along site frontage on Via De Negocio .
44. Sight distance easements shall be dedicated over sight distance triangles.
 - a. Sight distance triangles must be shown on final plans to be clear of landscaping, signs, or other visibility obstructions between 2 feet and 7 feet in height.
 - b. Refer to the following figures: 3.1-13 and 3.1-14 of Section 3.1 of the City's Design Standards and Policies Manual, published December 1999.
45. Vehicular Non-Access Easement:
 - a. Prior to final plan approval, the developer shall dedicate a 1-foot wide vehicular non-access easement along the property frontage on San Alberto Street and Via De Negocio Street except at the approved driveway location.
46. Well Site Dedication:
 - a. Unless otherwise agreed to in writing by the Asset Management Coordinator, each tract or lot dedicated to the City shall be: (1) conveyed by a general warranty deed, and (2) accompanied by a title policy in favor of the City, both to the satisfaction of city staff as designated by the Asset Management Coordinator.
47. Indemnity Agreements:
 - a. When substantial improvements or landscaping are proposed within a utility easement, an indemnity agreement shall be required. The agreement shall acknowledge the right of the City to access the easement as necessary for service or emergencies without responsibility for the replacement or repair of any improvements or landscaping within the easement.

Ordinance**M. Drainage Easement:**

- (1) Drainage and flood control easements shall be dedicated to the City to the limits of inundation for all vista corridor washes, for all washes having a discharge rate of 25 cfs or more, for all FEMA regulatory floodways to the extent of the 100-year base flood elevation, and for all stormwater storage basins. All drainage and flood control easements shall be dedicated to the City with maintenance responsibility specified to be that of the property owner.

N. Waterline and Sanitary Sewer Easements:

- (1) Before the issuance of any building permit for the site, the developer shall dedicate to the City, in conformance with the Scottsdale Revised Code and the Design Standards and Policies Manual, all water easements necessary to serve the site.

O. Public Utility Easement:

- (1) An 8-foot wide public utility easement shall be dedicated along both sides of internal streets. The 8-foot wide easements may be reduced or eliminated upon approval of the public utility companies.

REFUSE:**DRB Stipulations**

48. One single refuse enclosure is required for this site. Refuse enclosures shall be constructed to City of Scottsdale's standards. Details for construction of trash enclosures can be found in the City of Scottsdale Supplements to MAG Standards, standard detail #2146-1 for single enclosures.
49. The location of refuse enclosure shown on the Site Plan and Conceptual Grading Plan is not acceptable. Final plan shall show a relocation of the refuse enclosure to east side of site along north-south driveway, angled to provide northbound pickup.

50. Enclosures must:

- a. Provide adequate truck turning/backing movements for a design vehicle of turning radius R (minimum) = 45 feet vehicle length of L = 40 feet.
- b. Be positioned to facilitate collection without "backtracking."
- c. Be easily accessible by a simple route.
- d. Not require backing more than 35 feet.
- e. Not be located on dead-end parking aisles.
- f. Enclosures serviced on one side of a drive must be positioned at a 30-degree angle to the centerline of the drive.

Ordinance

P. Refuse enclosures are required as follows:

- (1) Restaurants: One per restaurant
- (2) Commercial Building Space: One for 0 to 20,000 s.f., Two for 20,001 to 40,000 s.f., Three for 40,001 to 60,000 s.f., etc.
- (3) Apartments: One for 0 to 20 units, Two for 21 to 40 units, Three for 41 to 60 units, etc.

For larger sites, an additional enclosure shall be required for each building space increase up to 20,000 SF, as shown above. For commercial buildings that include one or more restaurants, one refuse enclosure must be dedicated to each restaurant in addition to the number of enclosures needed based on the square footage of the commercial building, as shown above.

Q. Underground vault-type containers are not allowed.

R. Refuse collection methods, i.e., site plan circulation will be approved at final plan review.

S. Refuse collection can be provided by the City of Scottsdale's Sanitation Division, at 480-312-5600.

WATER AND WASTEWATER STIPULATIONS

The following stipulations are provided to aid the developer in submittal requirements, and are not intended to be all-inclusive of project requirements. Water and sewer lines and services shall be in compliance with City Engineering Water and Sewer Ordinance, the Scottsdale Revised Code and Sections 4 and 5 of the Design Standards and Policies Manual.

DRB Stipulations

51. Where walls cross or run parallel with public water mains, public sewer mains, or public fire lines the following shall apply:

- a. For walls constructed parallel to these pipes, the walls shall be a minimum of six (6) feet from the outside diameter of the pipe.
- b. For walls constructed across or perpendicular to these pipes, the walls shall be constructed with gates or removable wall panels for maintenance and emergency access.

WATER:**Ordinance**

T. The water system for this project shall meet required health standards and shall have sufficient volume and pressure for domestic use and fire protection.

WASTEWATER:**DRB Stipulations**

Private Sewer System

52. On-site sanitary sewer shall be privately owned and maintained.

Service Connections to the Main.

53. Existing water and sewer service lines to this site shall be utilized or shall be abandoned by disconnection at the main.

Ordinance

Location & Clearance.

U. Privately owned sanitary sewer shall not run parallel within the waterline easement.

CONSTRUCTION REQUIREMENTS

DRB Stipulations

As-Built Plans.

54. City staff may at any time request the developer to submit as-built plans to the Inspection Services Division.

- a. As-built plans shall be certified in writing by a registered professional civil engineer, using as-built data from a registered land surveyor.
- b. As-built plans for drainage facilities and structures shall include, but are not limited to, streets, lot grading, storm drain pipe, valley gutters, curb and gutter, flood walls, culverts, inlet and outlet structures, dams, berms, lined and unlined open channels, storm water storage basins, underground storm water storage tanks, and bridges as determined by city staff.

Ordinance

V. Section 404 permits. With the improvement plan submittal to the Plan Review and Permit Services Division, the developer's engineer must certify that it complies with, or is exempt from, Section 404 of the Clean Water Act of the United States. [Section 404 regulates the discharge of dredged or fill material into a wetland, lake, (including dry lakes), river, stream (including intermittent streams, ephemeral washes, and arroyos), or other waters of the United States.]